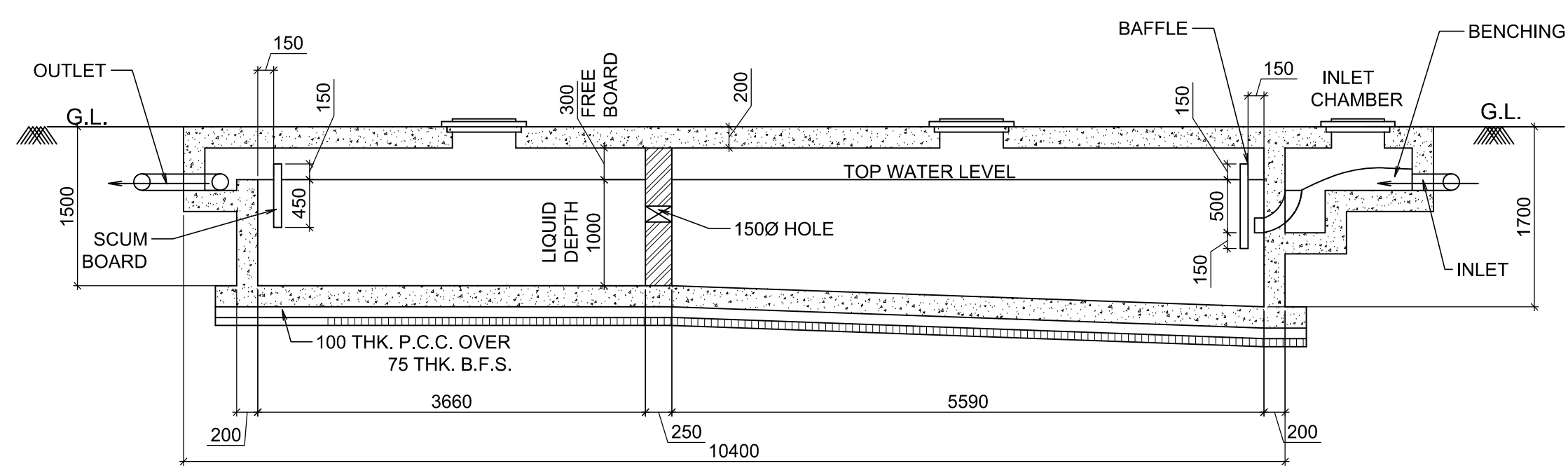
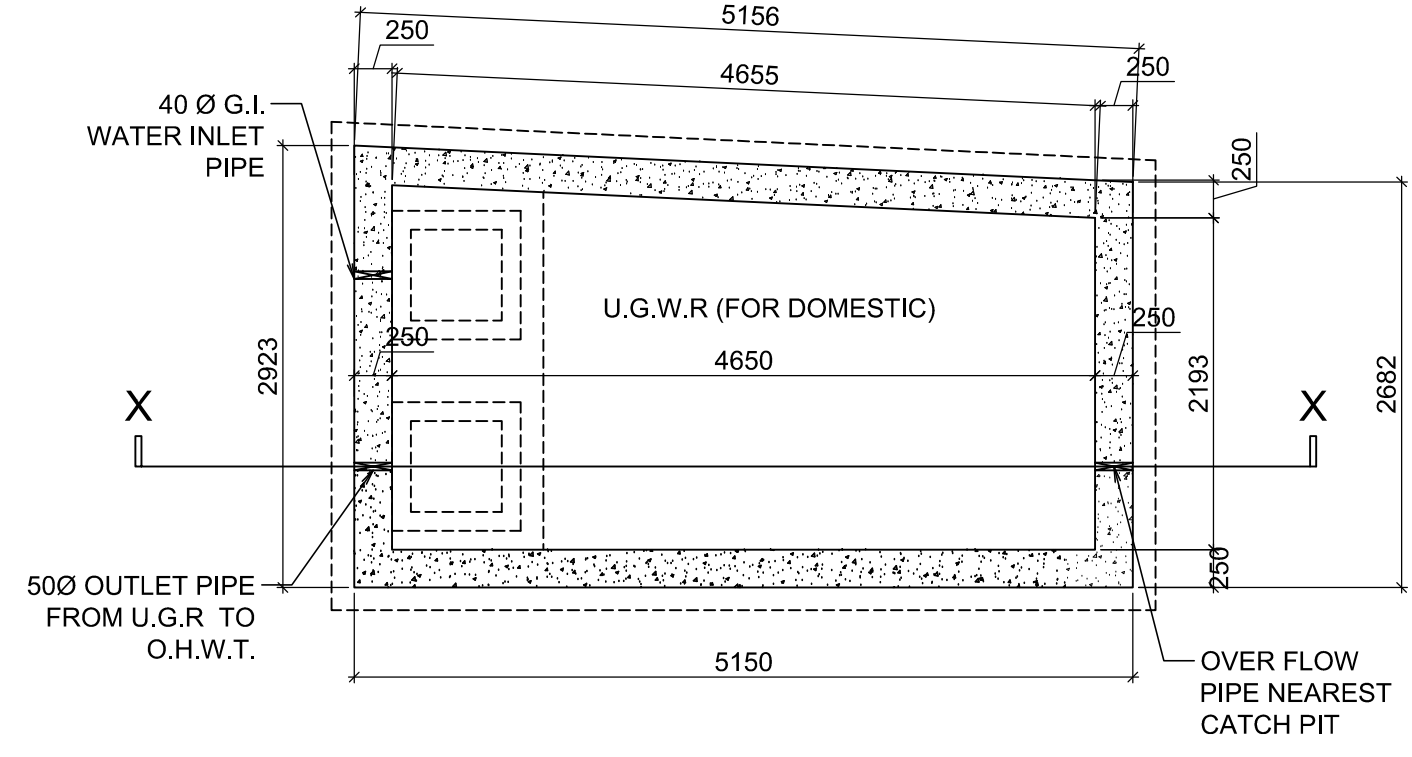


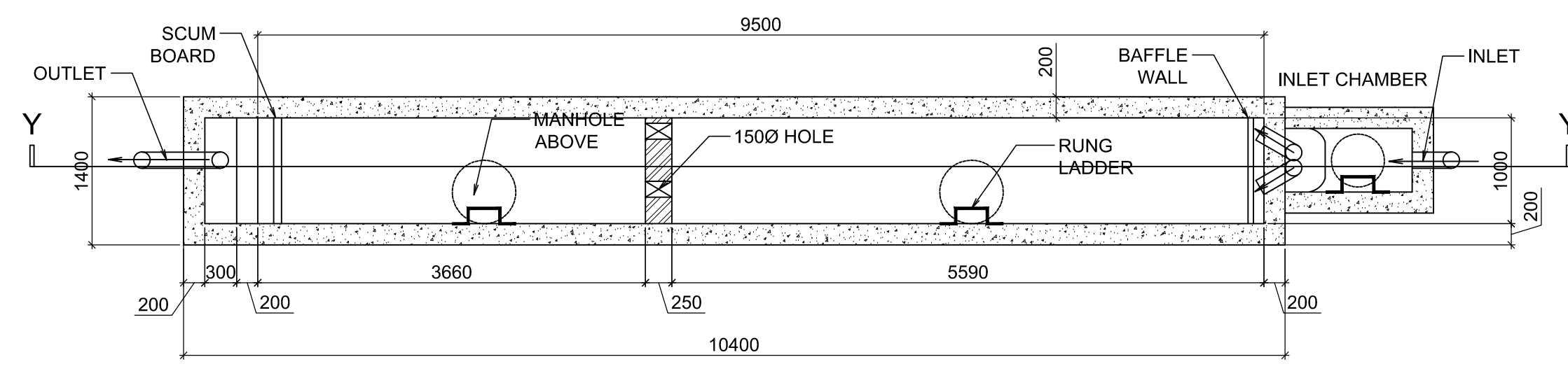
DETAIL SECTION OF UNDER GROUND WATER RESERVOIR- XX
SCALE - 1:50



DETAIL SECTION OF SEPTIC TANK- YY
SCALE - 1:50



PLAN OF UNDER GROUND WATER RESERVOIR
SCALE - 1:50
(CAPACITY- 10000 LTS)



PLAN OF SEPTIC TANK
SCALE - 1:50
(50 USERS)

NOTE:

1. ALL SORTS OF PRECAUTIONARY MEASUREMENTS WILL BE TAKEN AT THE TIME OF DEMOLISHING EXISTING BUILDING AND CONSTRUCTION OF UNDERGROUND SEPTIC TANK, U.G.W.R. AND CONSTRUCTION OF THE BUILDING
2. THE DEPTH OF UNDERGROUND SEPTIC TANK AND U.G.W.R. WILL NOT EXCEED THE DEPTH OF FOUNDATION OF THE NEIGHBORING COLUMN OF THE BUILDING.
3. TOP SLAB OF UNDERGROUND SEPTIC TANK AND U.G.W.R. IS 150mm THK R.C.C. SLAB TO BEAR WHEEL LOAD, FINISHED AT DRIVEWAY LEVEL. ALL SURFACE STRENGTH NOT LESS THAN 45MT. LOADING CAPACITY.

AREA STATEMENT

1. Area of land :- As per Title of Deed and Assessment Book = 05 K - 04 CH - 40 SQ.FT. = 354,890 SQ.M. And Boundary declaration = 05 K - 04 CH - 40 SQ.FT. = 354,920 SQ.M.
2. Permissible F.A.R = 2.250 Proposed F.A.R = 2.058
3. Permissible Ground Coverage = 54.837% = 194,611 SQ.M. Proposed Ground Coverage = 54.111% = 192,035 SQ.M.

| S.N. | Floors | Floor area | (Lift well + Elec.shaft) | Gross Floor Area in sqm. | Staircase | Lift lobby | Net Floor Area in sqm. |
|------|--------------|---------------|--------------------------|--------------------------|--------------|--------------|------------------------|
| i) | Ground Floor | 170,090 sq.m. | - | 170,090 sq.m. | 12,757 sq.m. | 3,000 sq.m. | 154,332 sq.m. |
| ii) | 1st. Floor | 192,036 sq.m. | 14,960 | 189,218 sq.m. | 13,162 sq.m. | 2,745 sq.m. | 173,317 sq.m. |
| iii) | 2nd. Floor | 190,906 sq.m. | 2,817 sq.m. | 188,089 sq.m. | 13,162 sq.m. | 2,745 sq.m. | 172,181 sq.m. |
| iv) | 3rd. Floor | 190,906 sq.m. | 2,817 sq.m. | 188,089 sq.m. | 13,162 sq.m. | 2,745 sq.m. | 172,181 sq.m. |
| v) | 4th. Floor | 190,906 sq.m. | 2,817 sq.m. | 188,089 sq.m. | 13,162 sq.m. | 2,745 sq.m. | 172,181 sq.m. |
| 4. | TOTAL | 934,845 sq.m. | 11,270 sq.m. | 923,575 sq.m. | 65,407 sq.m. | 13,980 sq.m. | 844,187 sq.m. |

5. TENEMENTS & CAR PARKING CALCULATION :

(A) RESIDENTIAL : Total Common area = @18.4403x4+43.598 = 117.358 sqm. Total Tenement area = 679.731 sqm.

| FLOOR | TENEMENT SIZE (sqm.) | AREA OF COMMON SPACE (sqm.) | TENEMENT AREA (sqm.) | NO. OF TENEMENT | REQUIRED CAR PARKING WITH SIZE (sqm) | PARKING |
|----------------|----------------------|-----------------------------|----------------------|-----------------|--------------------------------------------|---------|
| 1ST. FL. | FLAT-A | 14,960 | 101,612 | 1 | 100 TO 200 (1 PARKING FOR EACH) | 1 |
| | FLAT-B | 84,125 | 98,649 | 1 | 75 TO 100 (1 PARKING FOR EACH 2 TENEMENTS) | - |
| | FLAT-A | 85,523 | 14,765 | 2 | 100 TO 200 (1 PARKING FOR EACH) | 2 |
| 2ND & 3RD. FL. | FLAT-B | 84,125 | 98,649 | 2 | 75 TO 100 (1 PARKING FOR EACH 2 TENEMENTS) | 1 |
| | FLAT-A | 169,654 | 29,290 | 1 | 100 TO 200 (1 PARKING FOR EACH) | 1 |

- B) No. of Parking provided Covered = 6 nos. E) Ground Floor Plate Area = (Parking 113,907 + Service 43,598 + Ground floor = 5 X 25 = 125 sq.m.) = 170,090 sq.m.
- C) Permissible area of parking : = 5 X 25 = 125 sq.m. F) Shop Covered Area = 12,585 sq.m. Shop Carpel Area = 10,040 sq.m.
- D) Actual area of parking provided Ground floor = 113,907 sq.m.

FAR Calculation = (Net area - Carparking provided) Land Area = (844,187 - 113,907) / 354,89 = 2.058

Additional Area for Fees = Stair Head Room + MRL & Lift Lobby + Cupboard + Pergola + Roof toilet = 17,28 sq.m. + 7,898 sq.m. + 20,451 sq.m. + 7,17 sq.m. + 2,295 sq.m. = 55,094 sq.m.

Total Area for Fees = Total Gross Floor Area + Addition Area For Fees = (923,575 + 55,094) sqm = 978,669 sqm

| | |
|---------------------------------------------|-------------------------------------------------|
| 1. Permissible FAR = 2.25 | 1. Goomty area = |
| 2. Proposed FAR = 2.058 | 2. Service Area at Ground Floor if any = |
| 3. Statement of other Area for Fees = | 3. Relaxation of authority, if any = |
| 4. Stair Head Room Area = 17,280 sq.m. | 4. Current Declaration of Owner, ESE, = |
| 5. MRL Lift + Lift Lobby Area = 7,898 sq.m. | 5. Existing area = 158,075 sqm |
| 6. C.B Area = 20,451 sqm. | 6. Permissible Green Cover = 8,162 sqm. = 2.30% |
| 7. Roof Toilet Area, if any = 2,295 sqm. | 7. Tree cover area = 11,560 sqm. = 3.25% |
| 8. Pergola area = 7,17 sqm. | 9. Roof Tank Area = 9,223 sqm. |
| | 10. Terrace Area = 192,035 sqm. |

CO-ORDINATES IN WGS 84 AND SITE ELEVATION (AMSL)

| REFERENCE POINT MARKED IN THE SITE PLAN OF THE PROPOSAL | CO-ORDINATE IN WGS 84 | | SITE ELEVATION (AMSL) |
|---------------------------------------------------------|-----------------------|--------------|-----------------------|
| | LATITUDE | LONGITUDE | |
| I | 22.4868111 N | 88.3677333 E | 10.4 M |

SPECIFICATION

1. ALL DIMENSIONS ARE IN MM UNLESS IT IS MENTIONED.
2. ALL EXTERNAL BRICK WALLS ARE 250/200 MM THICK AND INTERNAL 125/75 MM THICK UNLESS IT IS MENTIONED.
3. ALL BRICKWORK PLASTERING INSIDE OR OUTSIDE ARE IN THE RATIO OF 1:6 & 1:4 RESPECTIVELY AND OUTSIDE PLASTERING CONTAINS WATER PROOFING.
4. ALL CIVIL WORKS ARE AS PER IS:456 AND ALL REINFORCEMENT AS PER IS 1776.
5. ALL R.C.C. WORKS ARE IN THE RATIO 1:1.5:3.
6. ALL PRECAUTIONARY MEASURES SHALL BE TAKEN AT THE TIME OF CONSTRUCTION OF SEMI-UNDERGROUND WATER RESERVOIR.
7. DEPTH OF WATER RESERVOIR SHALL NOT BE MORE THAN THE DEPTH OF MAIN COLUMN FOUNDATION.

| ASSESSEE NO | DETAILS OF REGISTERED BOUNDARY DECLARATION | DETAILS OF REGISTERED POWER OF ATTORNEY |
|-------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. ASSESSEE NO = 210960701410 | BOOK NO. - I VOLUME NO. - 1605 - 2020 PAGES FROM- 13360 TO 13370 BEING NO. - 16050237 OFFICE-AD.S.R. ALIPORE. DATED - 13-10-1989. | BOOK NO. - IV VOLUME NO. - 39 PAGES FROM- 125 TO 130 BEING NO. - 1923 OFFICE- ADDITIONAL REGISTRAR OF ASSURANCE III, KOLKATA DATED - 04-04-2008 |

5. MUTATION CERTIFICATE (K.M.C.) WIDE NO. 019607-NOV-14/23038, DATED: 14.11.2014

| DOOR SCHEDULE | | | WINDOW SCHEDULE | | |
|---------------|-------|--------|-----------------|-------|--------|
| TYPE | WIDTH | HEIGHT | TYPE | WIDTH | HEIGHT |
| D1 | 1050 | 2150 | W1 | 1800 | 1850 |
| D2 | 900 | 2150 | W2 | 1350 | 1850 |
| D3 | 750 | 2150 | W3 | 1200 | 1850 |
| SLD1 | 2400 | 2150 | W4 | 900 | 1850 |
| SLD2 | 1800 | 2150 | W4A | 600 | 1850 |
| SLD3 | 1100 | 2150 | W4B | 3400 | 1850 |
| | | | W4C | 4950 | 1850 |
| | | | W5 | 900 | 1100 |
| | | | W6 | 750 | 950 |
| | | | W7 | 600 | 950 |

DECLARATION OF OWNER/ APPLICANT

- I DO HEREBY UNDERTAKE WITH FULL RESPONSIBILITY THAT :
1. I SHALL ENGAGE ARCHITECT, E.S.E. AND G.T.E. DURING CONSTRUCTION.
 2. I SHALL FOLLOW THE INSTRUCTION OF ARCHITECT, E.S.E., AND G.T.E. DURING CONSTRUCTION OF THE BUILDING (AS PER B.S. PLAN).
 3. THE K.M.C. AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURAL STABILITY OF THE BUILDING AND ADJOINING STRUCTURE.
 4. IF ANY SUBMITTED DOCUMENTS ARE FOUND TO BE FAKE, THE K.M.C. AUTHORITY MAY REVOKE THE SANCTION PLAN.
 5. THE CONSTRUCTION OF UNDERGROUND WATER RESERVOIR AND SEPTIC TANK WILL BE UNDERTAKEN UNDER THE GUIDANCE OF ARCHITECT/E.S.E BEFORE STARTING THE BUILDING FOUNDATION WORK.
 6. EXISTING STRUCTURE TO BE DEMOLISHED BEFORE COMMENCEMENT OF WORK. THERE IS NO TENANT.
 7. PLOT IS IDENTIFIED BY ME DURING INSPECTION.
 8. THERE IS NO COURT CASE PENDING.

SRI NARAYAN SAHA
AS CONSTITUTED ATTORNEY OF
SMT. SUMITRA ROY, SMT. SUCHITRA PAUL,
SMT. CHITRITA CHAUDHURI (LESSEE)
NAME OF THE APPLICANT

THE EST. MANAGER DEV. & PLANNING DEPT.
GOVT OF W.B.
(LESSOR)

DECLARATION OF ARCHITECT

I CERTIFIED WITH FULL RESPONSIBILITY THAT THE PROPOSED BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C. BUILDING RULE 2009 AS AMENDED FROM TIME TO TIME THAT THE SITE CONDITIONS INCLUDING THE WIDTH OF ABUTTING ROAD 9.144 M AT WEST CONFIRM WITH THE PLAN AND WHICH HAS BEEN MEASURED AND VERIFIED. IT IS A BUILDABLE SITE AND NOT A TANK OR FILLED UP TANK. NOW THERE IS AN EXISTING STRUCTURE OCCUPIED BY OWNER AND THE PLOT IS DEMARCATED BY BOUNDARY WALL. THE CONSTRUCTION OF UNDER GROUND WATER RESERVOIR AND SEPTIC TANK WILL BE COMPLETED BEFORE STARTING THE BUILDING FOUNDATION.

SAPAN KUMAR PATRA
CA/2010/47827
NAME OF THE ARCHITECT

DECLARATION OF E.S.E

THE STRUCTURAL DESIGN AND DRAWINGS OF BOTH FOUNDATION & SUPERSTRUCTURE OF THE BUILDING HAS BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOADS AS PER THE NATIONAL BUILDING CODE OF INDIA AND CERTIFIED THAT IT IS SAFE AND STABLE IN ALL RESPECTS.

SOIL TESTING HAS BEEN SIGNED BY MR. BHASKARJYOTI ROY, G.T.E., EMPANELMENT NO. G.T.1114 (K.M.C) PREPARED BY SOIL-TECH (51/1H, PRINCE GOLAM HOSSAIN SAHA ROAD, JADAVPUR, KOLKATA-700032.

BIBEK BIKASH MULLICK
ESE NO - 1/75
NAME OF THE E.S.E

DECLARATION OF GEO TECH ENGINEER

UNDERSIGNED HAS BEEN INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREON. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD COMING FROM THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HERE IS SAFE AND STABLE IN ALL RESPECT FROM GEO TECHNICAL POINT OF VIEW.

BHASKARJYOTI ROY
G.T.E. NO. - G.T. 1114 (K.M.C.)
NAME OF THE GEO TECHNICAL ENGINEER

PROJECT

PROPOSED G+IV BUILDING (HEIGHT OF THE BUILDING 15.45 M)
RESIDENTIAL BUILDING UNDER SECTION 393A OF K.M.C. ACT 1980 AND K.M.C. BUILDING RULES, 2009, AT PREMISES NO-176/14/141, RAIPUR ROAD, KOLKATA-700092, P.S. - JADAVPUR, WARD NO - 96. BOROUGH - X, PLOT NO-141, J.L. NO- 34, TOUZI NO.- 151, MOUZA- BADE RAIPUR, COMPLYING NOTIFICATION: 80/MA/O/C-4/ 3R-7/2017 DT. 31.01.2018 FOR RULE 77 OF KMC BUILDING RULE 2009

TITLE

SITE PLAN, LOCATION PLAN, EXISTING GROUND FLOOR PLAN, PROPOSED GROUND FLOOR PLAN, U.G.W.R DETAIL, SEPTIC TANK DETAIL

| | |
|-----------|-------------------------------------------|
| DESIGNED: | DRG.NO - MASTER SHEET |
| CHECKED: | SCALE - 1:50, 1:100, 1:200, 1:600, 1:4000 |
| DEALT: | DATE - 11.11.2022 |

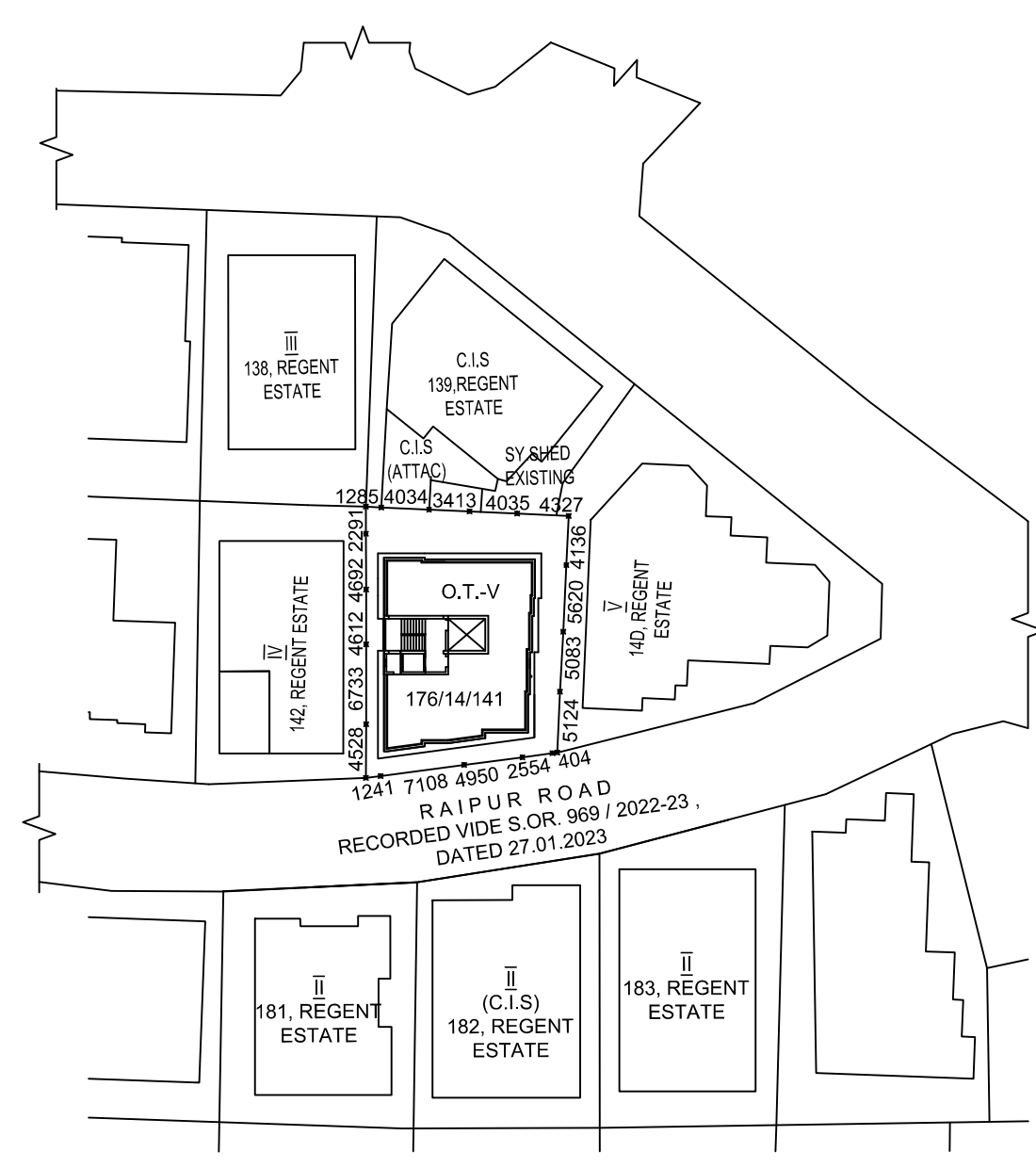
ARCHITECT
BLUE UMBRELLA DESIGN STUDIO,
27, MAHANIRBAN ROAD,
KOLKATA - 700029
PHONE NO. - 033-35583563, 9007512424
EMAIL: blueumbrella15@gmail.com, sapan.patra13@gmail.com

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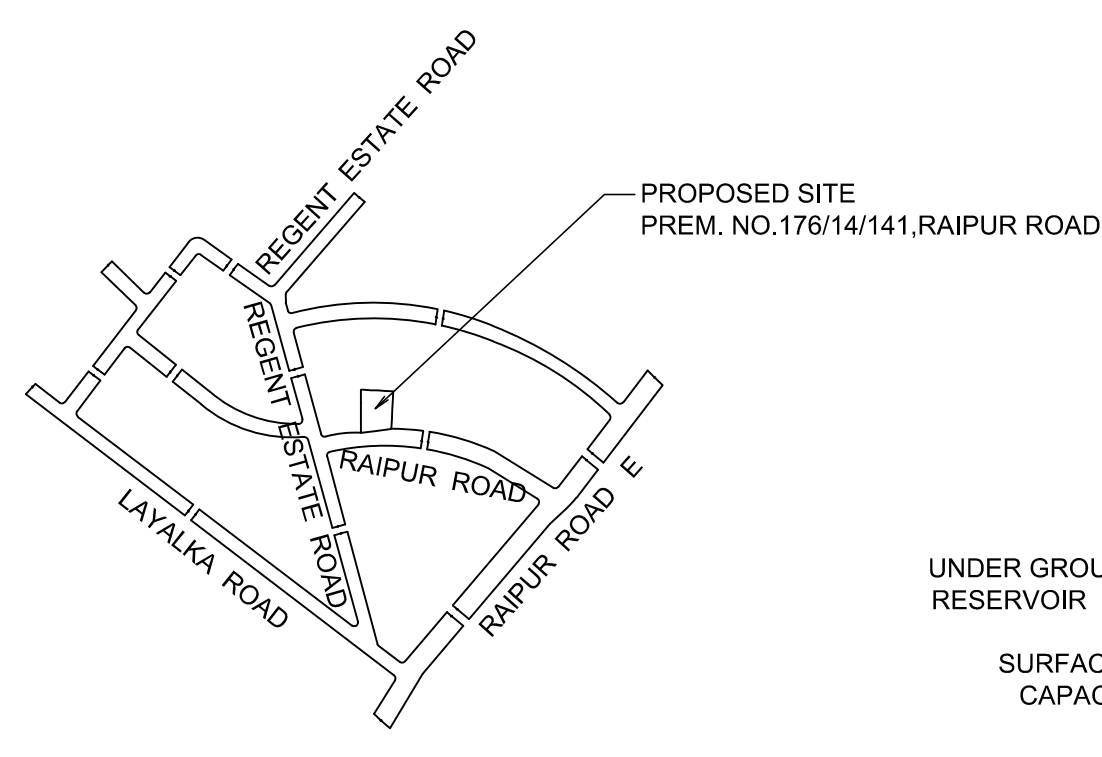
BUILDING PERMIT NO. 2023100042 DATE : 31-MAY-2023
VALID UP TO : 5 years from date of sanction.

ASSISTANT ENGINEER (C)/BLDG. /BR -X

EXECUTIVE ENGINEER (C)/BLDG. /BR -X



SITE PLAN
SCALE - 1:600

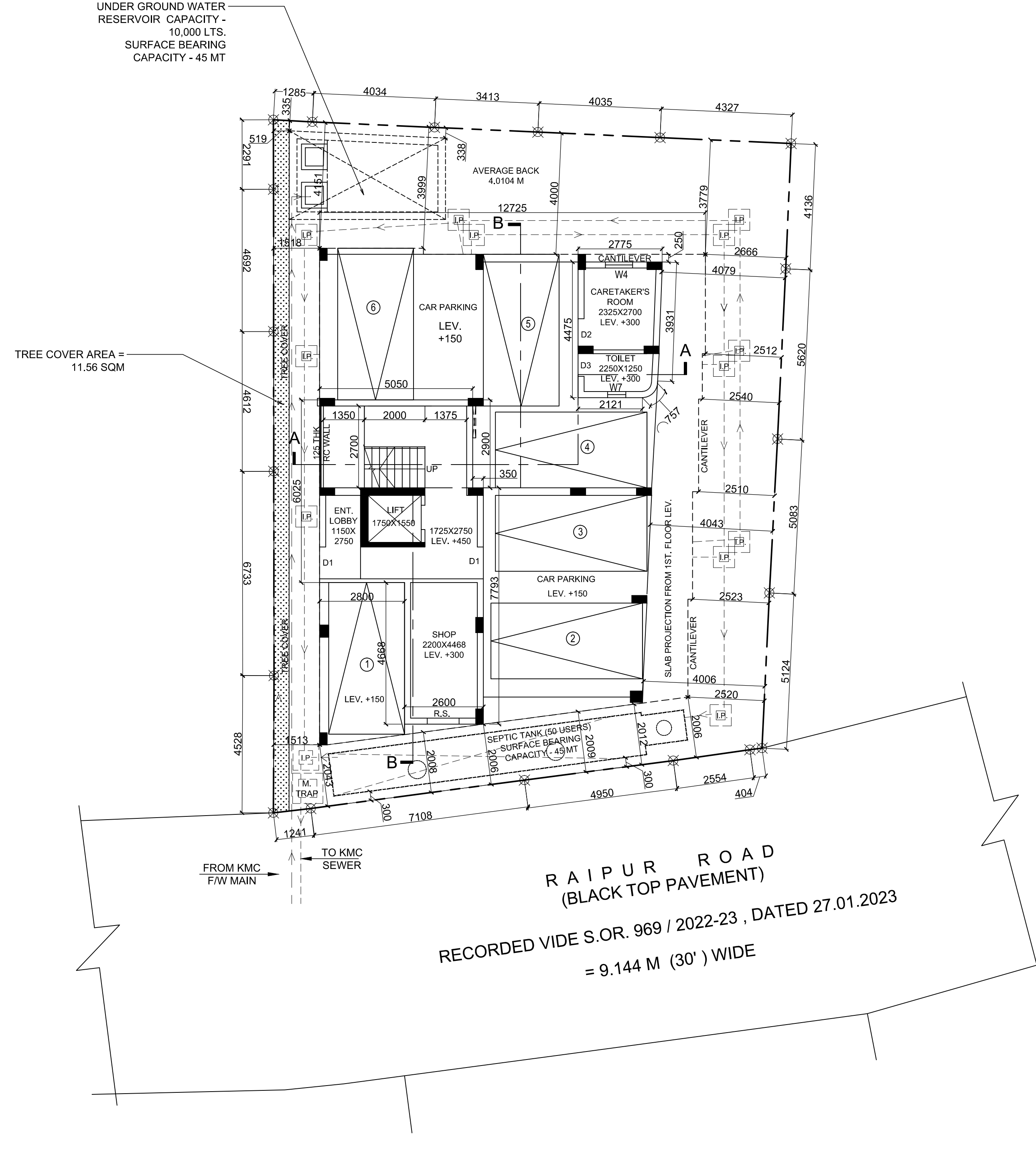


LOCATION PLAN
SCALE - 1:4000

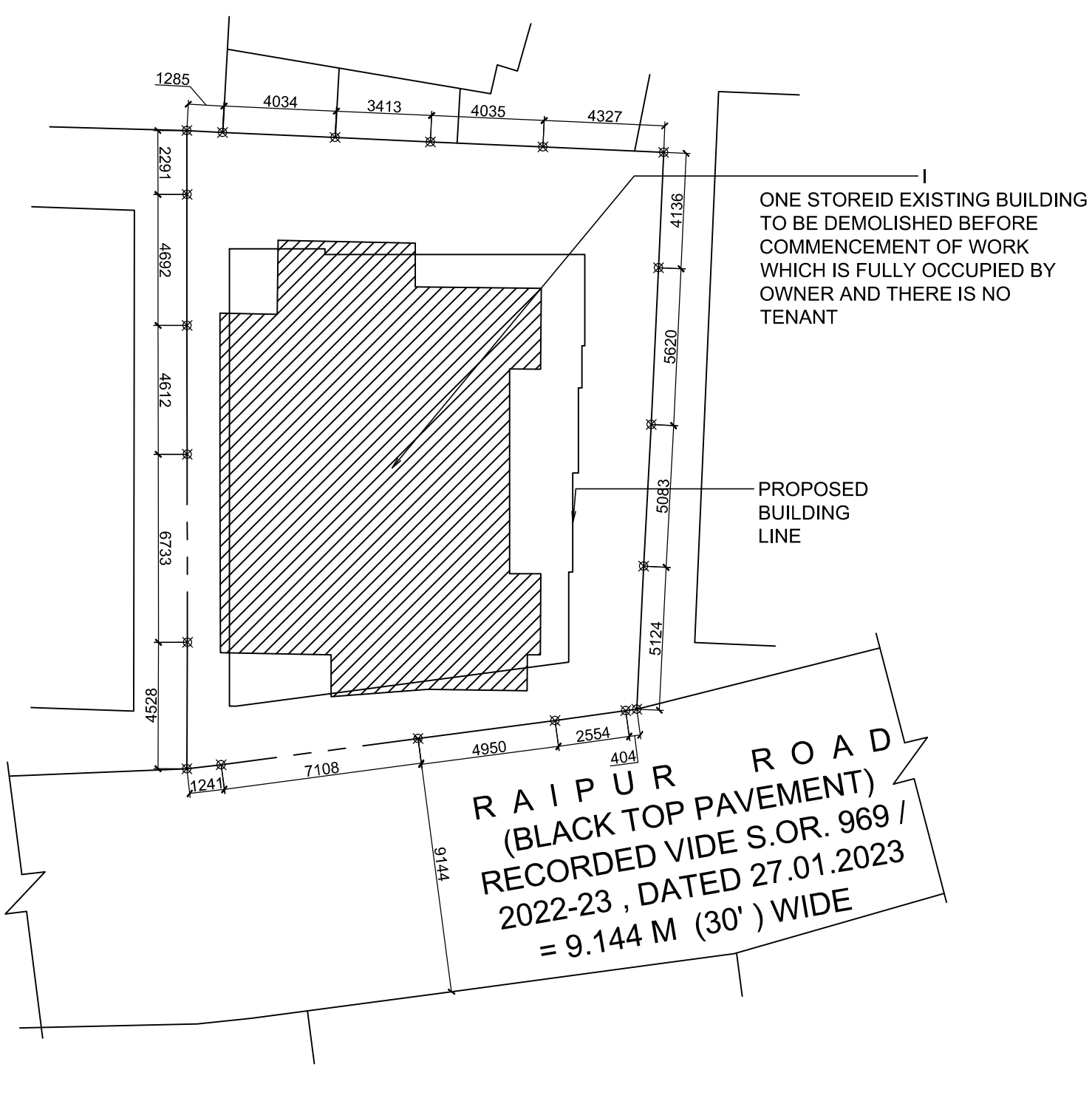
AVERAGE BACK CALCULATION (VIDE NOTIFICATION 480/MA/O/C-4/3R-13/2012, DATED 21.10.2014, W.E.F. 22.10.2014)

AREA: 0.38 SQM + 3.54 SQM + 0.32 SQM + (3.7 X 0.2) SQM + (12.725 X 33.583 SQM) = 51.0326 SQM

AREA LENGTH = 51.0326 / 12.725 = 4.0104 > 4



PROPOSED GROUND FLOOR PLAN
SCALE - 1:100



EXISTING GROUND FLOOR PLAN
SCALE - 1:200